



BATH CHARTER TOWNSHIP CAPITAL IMPROVEMENT PROGRAM PROJECT PROPOSAL APPLICATION

For citizen submitted proposals: It is the responsibility of the applicant to identify Township department head support or board, commission, or committee support by a majority vote for a project proposal. Failure to identify support will lead to an incomplete application. Projects will not be reviewed and/or scored without support from at least one Township department head or board, commission, or committee.

The applicant is encouraged to submit the application for the period of time that individual believes is required for the project's implementation to occur. For example, some smaller projects may need only a three-year time period for implementation to occur, while other larger projects may want to apply for the full five-year Capital Improvement Program (CIP) time period. It is important to note that projects will now, in most cases, receive two scores from the Planning Commission. The first score is an "Overall Score" of the Planning Commission's interpretation of the project and the value that will add to the community as a whole. A series of controlling metrics will be used to aid the Planning Commission in the determination of that score. The second score is a "Year One Score", this score will be associated with the Planning Commission's assessment of the research, planning, and other pre-development requirements/cost of the project. As requirements/cost can be numerous and vary from project to project, it is important for the Planning Commission to assess the pre-development efforts required of any submittal in addition to the "Overall Score".

It is also important to note, that a project submitted for a given time period will be re-assessed and re-scored on an annual basis. A CIP public hearing will be noticed to the public and the hearing will take place the night of the re-scoring. Applicants will not be required to re-submit applications on an annual basis. If the project was not implemented by the Board of Trustees at the conclusion of the previously submitted time period, the applicant can re-submit a new application.

Applicants are strongly encouraged to provide as much detail as reasonably possible. Maps, drawings, letters of support from Township committees or community organizations, etc. are all encouraged. Proposals with a distinct lack of details or information about the proposal or its purpose are likely to be rejected.

Requirements for proposal consideration:

- All information on application is complete
- Cost estimate must be from a licensed contractor or other project professional
- Project must have a minimum cost of \$20,000

- Proposed project must have a useful life of five or more years
- Must have support from at least one Township department head or board, commission, or committee by a majority vote.

For the purposes of this Capital Improvement Plan, capital improvements are generally projects related to land acquisition or infrastructure construction/improvement.

Examples of CIP Projects:

- Road construction/repaving
- Land acquisition
- Trail construction
- Sewer improvements
- Right-of-way acquisition
- Sidewalk improvement/replacement/construction
- Replacement of Township vehicles

The following are NOT CIP projects:

- Routine maintenance
- New software or hardware

NOTICE: SUBMISSION OF A COMPLETED PROJECT PROPOSAL APPLICATION DOES NOT GUARANTEE THAT IT WILL BE REVIEWED AND/OR SCORED.

Please submit the completed application to the Township Planner on or before Friday, June 30, 2023. The submission should include all project materials required for a completed application.

Applications may be submitted via the [Google Form](#) or in-person at the Township Offices, 14480 Webster Road, Bath MI 48808.

If applicants have questions, they can contact Township Planner Miles Roblyer by email at mroblyer@bathtownship.us or by phone at (517) 641-5166.

Project Name: BEACH BATHROOMS

Location: PARK LAKE BEACH

Applicant Name: BEN ZEEB

Contact Phone Number: 517-930-4961

Contact Email Address: BZEEB@BATHTOWNSHIP.US

Project Description (attach additional sheets if necessary):

CONSTRUCT A WATERLESS BATHROOM BUILDING AT
PARK LAKE BEACH. (CONSTRUCTION DETAILS AND
SPECIFICATIONS ATTACHED)

Project Purpose (attach additional sheets if necessary):

PROVIDE RESTROOMS TO BEACH. IMPROVE THE
IMAGE OF PARK LAKE BEACH. ATTRACT
NEW PEOPLE TO OUR COMMUNITY.

Does the project contribute to the health, safety, and welfare of the community?

YES. THE CLOSEST RESTROOMS ARE LOCATED
AT WISWASSER PARK. HAVING A RESTROOM AT THE
BEACH WOULD ELIMINATE WALKING ON PARK LAKE RD. TO

Is the project required in order to comply with local, state, or federal law?

USE THE BATHROOM

NO

Does the project conform to adopted programs, policies, or plans?

NO

Does the project remediate an existing or projected deficiency or hazard?

YES, ELIMINATE THE NEED FOR WALKING TO WISWASSER PARK OR LEAVING TO USE BATHROOM.

Will the project upgrade facilities?

YES, THIS WILL ADD A NEW BUILDING AND UPGRADE FROM THE PORTA-POTTIE

Does the project contribute to the long-term needs of the community?

YES, ADDING AMENITIES AT THE BEACH ADDS TO THE LONG TERM NEEDS OF DEVELOPING THE NORTH SIDE OF PARK LAKE.

What are the distributional impacts of the project?

PROVIDES A MORE ATTRACTIVE PARK AND COMFORT KNOWING THERE IS A BATHROOM CLOSE BY ATTRACT NEW PEOPLE AND ENCOURAGE THEM TO USE THE BEACH

What is the departmental priority of the project?

Department(s) of Support: REC COMMITTEE, DPW, PARKS

Board, Commission, or Committee of Support: _____

Consistent with adopted Township plans? Which one(s)? _____

Total Project Cost: \$130k-190k

Yearly Project Cost Breakdown

	2024	2025	2026	2027	2028
Cost					

Source of Project Cost Estimate:

ROMTEC

Estimated Annual Maintenance Cost: \$2000 PUMPING + REGULAR MAINTENANCE

Source of Funding (attach additional sheets if necessary):

GENERAL FUND / WOULD APPLY FOR DNR GRANTS / ARPA

Project Funding Match Requirement (if applicable): _____



Bath Township
Email

Ben Zeeb <bzeeb@bathtownship.us>

Bath Township - Park Lake Beach (MI)

3 messages

Loren Culberhouse <lculberhouse@romtec.com>
To: "bzeeb@bathtownship.us" <bzeeb@bathtownship.us>

Fri, Jun 23, 2023 at 12:23 PM

Ben,

Appreciate your time with me on the phone today about the Park Lake Beach Restroom Project. I understand your looking to get the restroom for a project in either 2024 or 2025. You discussed applying or a grant and having some existing funding, the best part is Romtec can provide all construction details with specifications for free so if the Bath Township wants to purchase the building directly through a cooperative purchasing agreement (**Sourcewell, Buy Board**) we can provide the necessary construction details with specifications to put the building installation out for bid when the funds are available for the installation. As I stated on the phone our restrooms are all pre-engineered kits designed to be installed on site by a contractor of your choosing. Below is the **Design & Supply** pricing that includes the building with all architectural and engineering completed with delivery to the job site purchased through a cooperative purchasing agreement in 2024 with the existing funds Bath Township currently has and installation being put out to bid.

Design & Supply

Model 1012 - \$65,000 - \$90,000 (naturally ventilated restroom)

Note: Purchasing the Design & Supply with existing funds. Romtec to provide free construction details with specifications and installation scope for installing contractor to bid on.

Estimated Install

Model 1012 - \$65,000 - \$100,000

Note: Installation by others potentially funded by grant funds or ARPA money. Installation out to bid with Romtec provided documents.

Estimated Total

Model 1012 - \$130,000 - \$190,000

Attached is the Model 1012 design drawing and the **Design Options Checklist** for you to review, complete and email back to me when you are ready to move forward. Additionally, "**Creekside**" attachment is an example of what we can do with the bid documents for the installation that's completely free.

Much appreciated,

Loren Culberhouse

*Sales & Construction
Estimator*


(541) 496-3541

lculberhouse@romtec.com


ROMTEC
BUILDINGS & PUMPING SYSTEMS



3 attachments

 **1012- 6-8x16-8 DBL Aspen -230202.pdf**
1739K

 **Vault Restroom Design Options.pdf**
1207K

 **2023- Creekside-B1011, CA -230404.pdf**
2687K

Ben Zeeb <bzeeb@bathtownship.us>
To: Loren Culberhouse <lculberhouse@romtec.com>

Fri, Jun 23, 2023 at 1:03 PM

Loren,
It was nice chatting with you today. Thank you for the information.

Regards,

[Quoted text hidden]

--
Ben Zeeb

Bath Charter Township
Director of Parks and Public Works
Email: bzeeb@bathtownship.us
Telephone: 517-641-7811
Cell: [517-930-4961](tel:517-930-4961)
Fax: 517-641-6930

Ben Zeeb <bzeeb@bathtownship.us>
To: Adam Montri <adam@tenhensfarm.com>

Fri, Jun 23, 2023 at 1:10 PM

Adam,

Here is the information I got back from Romtec on the Bathrooms for Park Lake beach. Seems like a lot of money for a small bathroom building, but can't hurt to ask for the funds in a grant. I didn't know if you wanted to include any of this in your SPARK grant application. We can discuss this more at our next meeting to at least get it on the radar in the 5 year plan. I will put in a CIP application for this also.

[Quoted text hidden]

[Quoted text hidden]

3 attachments



1012- 6-8x16-8 DBL Aspen -230202.pdf

1739K



Vault Restroom Design Options.pdf


1207K



2023- Creekside-B1011, CA -230404.pdf

2687K

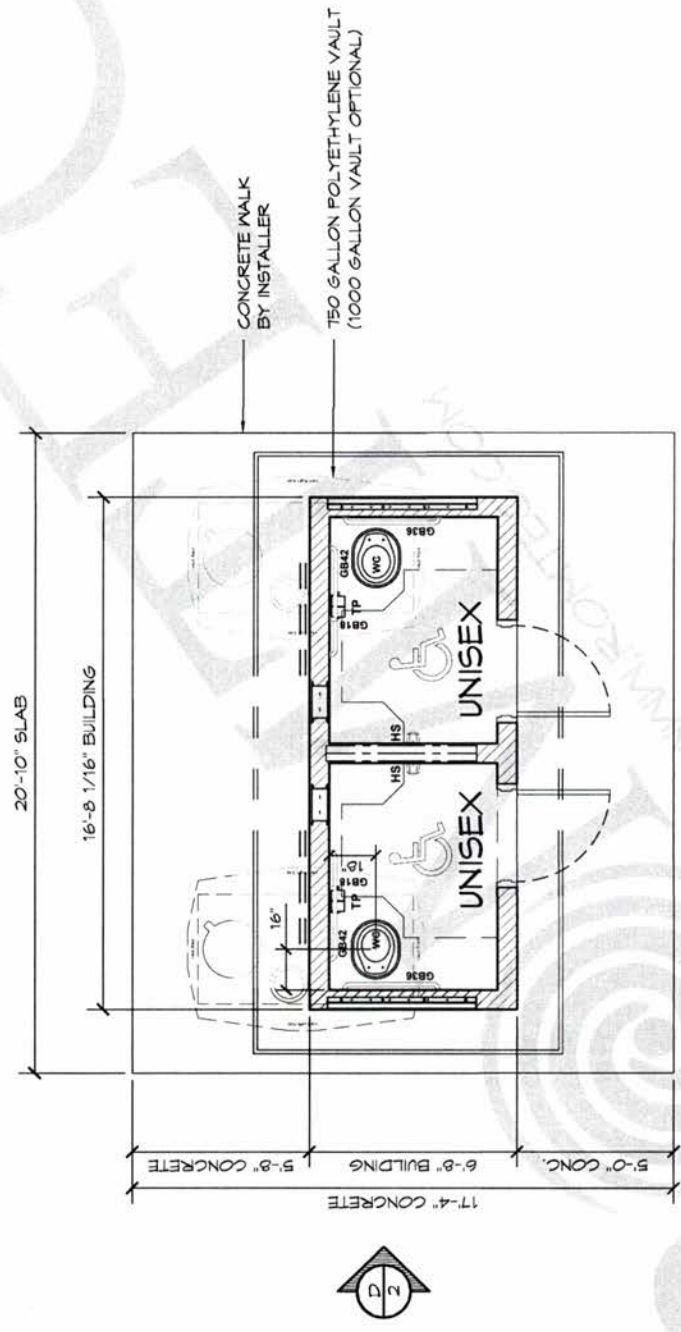
WALL TYPE SCHEDULE

	8" REINFORCED CONCRETE MASONRY BLOCK WALL WITH MORTAR JOINTS, GROUTED SOLID ALL CELLS RUNNING BOND PATTERN.
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THESE PLAN VIEW AND ELEVATION DRAWINGS ARE A PRELIMINARY ARCHITECTURAL REPRESENTATION OF THE BUILDING. ALL DIMENSIONS, FEATURES AND COMPONENTS SHOWN ON THESE PRELIMINARY DRAWINGS MAY OR MAY NOT BE PART OF THE QUOTE. PLEASE REFER TO THE 'SCOPE OF SUPPLY AND SERVICES' LETTER PROVIDED WITH YOUR QUOTE FOR ROMTEC'S PROPOSED SCOPE OF SUPPLY.

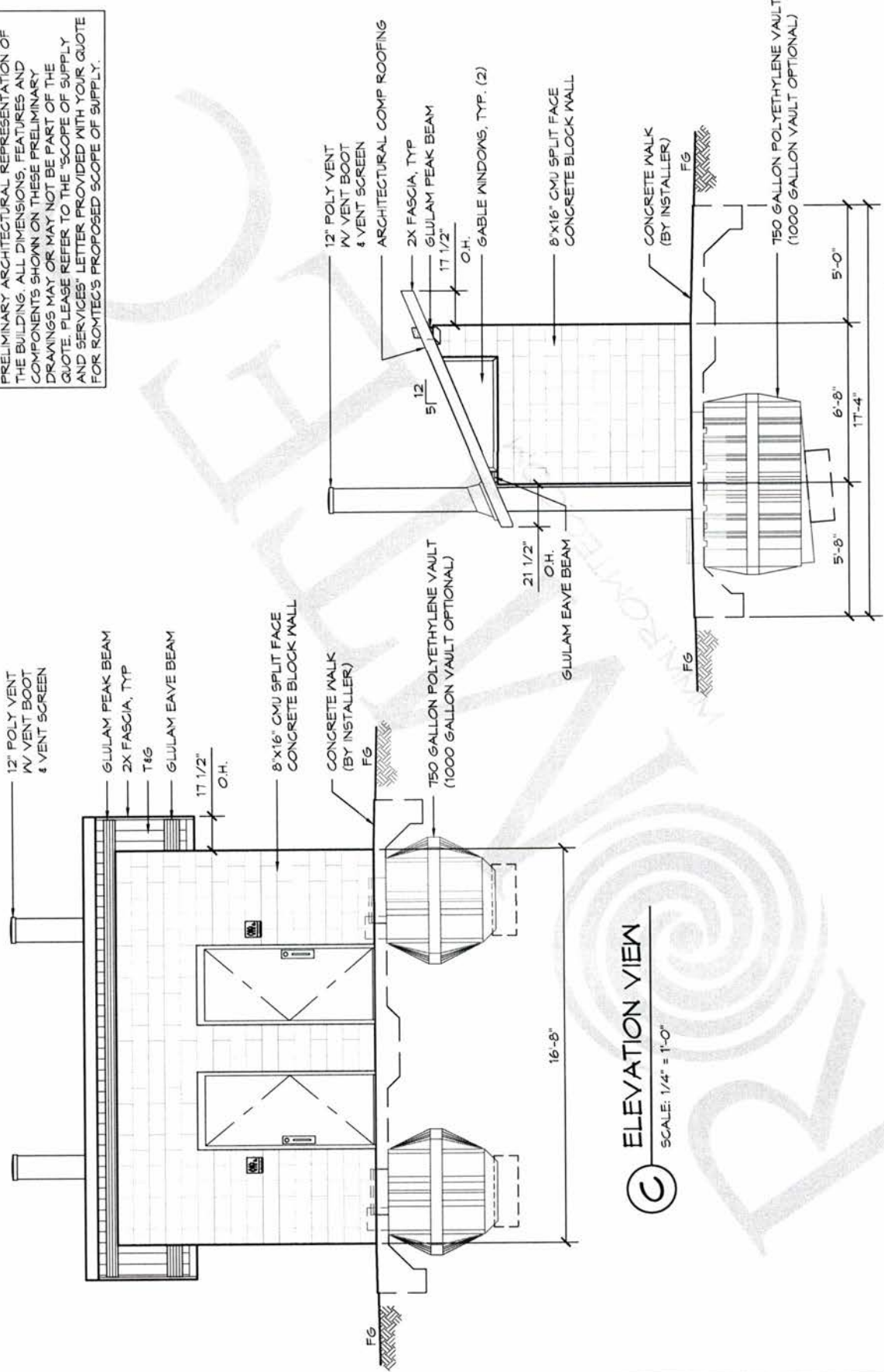
LEGEND

SYMBOL	DESCRIPTION	AREA/ QUANTITY
	GABLE WINDOW	2
	2x6 WOOD FILLER WALL	1
	16" x 24" EXTERIOR, CMU WALL VENT	2



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(C) ELEVATION VIEW
 SCALE: 1/4" = 1'-0"

(D) ELEVATION VIEW
 SCALE: 1/4" = 1'-0"

CREEKSIDE PARK

SHEET SCHEDULE	
SHEET	CONTENTS
1	TITLE PAGE & SPECIFICATIONS
2A	FLOOR PLAN & SPECIFICATIONS
2B	ELEVATION VIEWS & SPECIFICATIONS
3	CGI PLAN & DETAILS & SPECIFICATIONS
4	FOUNDATION PLAN & DETAILS, & SPECS

ROMTEC
 18240 NORTH BANK ROAD - ROSEBURG, OR 97470
 (541)-496-3541 FAX (541)-496-0803

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CREEKSIDE PARK
 SECTION 13 23 - PRE-ENGINEERED RESTROOM BUILDING

Specification Date: 4/3/2023

SECTION 1: BUILDING SUPPLIER SCOPE

1.1 SUMMARY

- A. The work shall include furnishing the needed architectural, structural, mechanical, and electrical plan sets and furnishing the structural, mechanical, and electrical building components as a complete, pre-designed restroom building package as shown on drawings and as specified herein.

1.2 GENERAL REQUIREMENTS

- A. Packaged restroom building design and engineering and furnishing all specified building package components shall be supplied by Romtec, Inc. or pre-approved alternate, hereafter designated as the building supplier.
- B. The building supplier shall be a single source design, engineering, and manufacturing firm who shall meet all the following requirements.
- C. The packaged restroom building shall be a current standard product of building supplier.
- D. Building supplier shall be regularly engaged in and have at least ten (10) years of experience in packaged restroom building engineering, design, supply, and construction.
- E. Alternate building suppliers shall demonstrate that they have designed, engineered, produced, delivered, and constructed at minimum ten (10) functioning site-built restroom buildings of similar type. Project completion dates and a reference contact from the owner of each project must be provided.
- F. Alternate building suppliers must disclose all instances of any prior municipal reviewer or landscape architect's rejection of the same or similar product as an "or equal" to the specified basis of design building package.
- G. Bidders who propose and alternate building supplier other than Romtec, Inc. are required to provide a complete submittal package minimum of ten (10) calendar days prior to the bid opening date with full sealed plan sets, calculations, and all pre-engineered structural forms.
- H. These products will be approved or denied prior to the bid opening. Incomplete submittals will be rejected and returned to the bidder.
- I. The building and its concrete footings, foundation, and slab are to be engineered by the building supplier to meet site-specific conditions, including wind and snow loading, local frost depth, and ground conditions.
- J. Fasteners that are normally included with individual components, as well as any atypical fasteners, shall be supplied by building supplier.
- K. Building is to be designed and constructed to meet local codes and approach for treatment structures. Any building that is temporary, permanently relocatable, prefabricated modular, an office connected product, or constructed of precast material is not an accepted equal or permanent structure.
- L. Any product proposed as "or equal" that are not as specified must be specifically listed in the alternate building supplier submittal package and accompanied by manufacturer's data sheets for review. These products will be approved or denied prior to the bid opening. Incomplete submittals will be rejected and returned to the bidder.
- M. Building eights, treatments, and roofing are to be as specified. Precast buildings with painted terrazzo are not considered architecturally equivalent.
- N. The building supplier shall provide complete, code-compliant building plans including plans, elevations, sections, and details, under seal of a National Kitchen and Bathroom Association (NKBA) certified technical designer.
- O. The building supplier shall provide complete structural calculations receiving code for design loads and seismic design under seal of a Professional Engineer with current license in the state of California.
- P. The reviewing authority reserves the right to review or reject all submittals at its sole discretion.
- Q. All work and materials shall comply with current industry building codes and regulations for the state of California.
- R. Americans with Disabilities Act Accessibility Guidelines (ADAAG) will be followed in design, manufacture, and construction.

1.3 DESIGN & SUBMITTAL DOCUMENTATION

- A. The building supplier work shall include the design of the architectural, mechanical, structural, and electrical components that will be required for this building.
- B. The building will be designed as a complete building package to be delivered to the job site for construction on-site by the contractor.
- C. Within one (1) week of contract award, the building supplier shall submit the packaged restroom building preliminary Scope of Supply and Design Submittal (SSDS), including the building plan view and elevation drawings.
- D. The building supplier will provide complete submittal documentation in the building supplier's standard electronic submittal format for review.
- E. The preliminary SSDS will be reviewed by relevant parties and returned to the building supplier with any required revisions to the terms, product data sheets, and/or building plan view and elevation drawings noted as comments.
- F. The building supplier shall make any required corrections or revisions and resubmit the preliminary SSDS until the preliminary SSDS is approved by the relevant parties.
- G. Once the preliminary SSDS has been approved, the building supplier will provide full sealed plan sets stamped by an engineer licensed in the state that the building is located for review by the permitting authority.
- H. Up to three (3) wet stamped sets of the plans and structural calculations shall be provided by building supplier before any additional fees apply. Standard plan set size is 11" x 17".
- I. Permitting authority will review the full sealed plan set and return with any required revisions or corrections noted as comments.
- J. Building supplier shall provide one full round of sealed plan revisions in response to permitting authority comments before any additional fees are allowed.
- K. The following sections shall be included in the building supplier's preliminary Scope of Supply and Design Submittal. Incomplete submittals will be rejected and returned to the bidder.
 - INTRODUCTION
 - BUILDING DESIGN
 - SUPPLIED ITEMS
 - EXCLUDED ITEMS
 - PLAN VIEW AND ELEVATION DRAWINGS
 - PRODUCT DATA
 - WARRANTY & LIMITATIONS
- Note: Overall site plan is not part of building supplier's scope.

1.4 WARRANTY

- A. The building package and all associated components provided by building supplier shall be warranted against defects in materials and workmanship for a period of not less than one (1) year from the date of acceptance. Acceptance is the date of delivery of the building package, or, if delivery is delayed for any reason beyond building supplier's control, the date that the building and all its associated components were ready to deliver.
- B. Building supplier shall pass through to owner all relevant manufacturers warranties for individual products and components of the building package.

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NO.	DATE	REVISIONS

NOT FOR CONSTRUCTION



PROJECT	CREEKSIDE PARK
SPECIFICATIONS	MILTON CREEK, CALIFORNIA
SHEET TITLE	TITLE PAGE
DATE	04/04/2023
YEAR	2023
SCALE	AS SHOWN
DRAWN BY	JRM
CHECKED BY	
DATE	

SECTION 2: BUILDING PACKAGE PRODUCTS

2.1 APPROVED BUILDING SUPPLIERS

A. Romtec, Inc.,
 18240 North Bank Road, Roseburg, OR 97470
 Tel: 541-496-3541; Fax: 541-496-0800; Email: cdooley@romtec.com
 Web: www.Romtec.com

B. Requests for use of an alternate building supplier will be considered in accordance with provisions of Section 1.

2.2 BUILDING DESCRIPTION

A. Refer to drawings for quantities, dimensions, locations, and installation methods for the materials and items described in this section.
 B. Building dimensions shall match what is indicated on drawings.

2.3 WATERLESS RESTROOM FIXTURES

- A. Waterless restroom components shall be supplied by building supplier.
- B. Underground vault shall be 750-gallon polyethylene vault with steel reinforced center column.
- C. Vent pipe for vault shall be:
 1. Inner diameter of 12" and black polyethylene
 2. Vent pipe to have bird screen
- D. Toilet riser for vault shall be:
 1. Single piece, 18", white polyethylene molded double walled riser with safety base and a heavy duty seat and lid that come preinstalled
- E. Grab bars shall be stainless steel.

2.4 STRUCTURE

- A. Concrete Masonry Units (CMU) shall be supplied by building supplier.
 1. Walls shall be constructed of 8"W x 16"L x 8"H split-face mortar joint concrete masonry units (concrete blocks).
 2. Blocks shall be manufactured to ASTM C90 designation for load bearing concrete masonry units.
 3. Block color to be Grey.
- B. Sanitary tile cove base on interior walls to be supplied by building supplier.
- C. Polycarbonate gable windows shall be supplied by building supplier.
 1. Windows shall include pre-assembled steel frame with 1/8" thick polycarbonate with translucent pebble finish.
 2. Steel frames are powder coated black.
- D. Kick proof wall vent for natural ventilation shall be supplied by building supplier.
 1. Pre-assembled steel frame with 10-gauge, 1" square lock joint wire weave mesh and insect cover with integral insect screen.
 2. Vent is powder coated black.
- E. Door system components shall be supplied by building supplier.
 1. Door shall be Steelcraft® SL18 standard laminated honeycomb core and 18-gauge galvanized steel.
 2. Door frame shall be pre-welded Steelcraft® 3-Strided flush frame, 16-gauge galvanized A-60 steel.
 3. Door/frame is powder coated black.
 4. Masonry door clips (3/16" dia.) for door frame shall be fitted between the doorframe and concrete blocks to bond frame to wall. Door clips allow full internal grouting of the frame during installation.
 5. Hinges shall meet ANSI A5112 with non-removable pin and two ball bearings.
 6. Hager 5100 Series Grade 1 door closer is constructed of cast iron, which makes it ideal for heavy duty, high use and abusive environments.
 7. Doors to have pull handles with stainless steel plates and deadbolt locks.

SECTION 2: BUILDING PACKAGE PRODUCTS

2.1 APPROVED BUILDING SUPPLIERS

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 18240 North Bank Road, Roseburg, OR 97470
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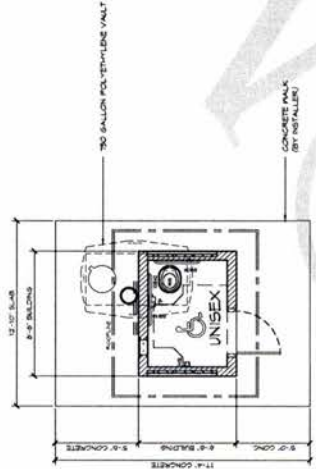
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 7. Doors to have pull handles with stainless steel plates and deadbolt locks.

WALL TYPE SCHEDULE	
[Pattern]	8" REINFORCED CONCRETE
[Pattern]	16" REINFORCED CONCRETE
[Pattern]	MORTAR JOINTS, RAISED BOLD
[Pattern]	ALL CELLS RUNNING BOND PATTERN

THESE PLAN VIEW AND ELEVATION DRAWINGS ARE A PRELIMINARY ARCHITECTURAL REPRESENTATION OF THE PROJECT. THE CONTRACTOR SHALL VERIFY THE COMPANIES' SCHEDULES ON THESE PRELIMINARY DRAWINGS. THE CONTRACTOR SHALL VERIFY THE QUANTITIES AND SERVICES LISTED TO THE SCOPE OF SUPPLY AND SERVICES LISTED PROVIDED WITH YOUR QUOTE AND SERVICES INDICATED SCOPE OF WORK.

SYMBOL	DESCRIPTION	AREA	QUANTITY
[Symbol]	8" x 16" CONCRETE		1
[Symbol]	16" x 16" CONCRETE		1



1 FLOOR PLAN
 SCALE 1/4" = 1'-0"

NO.	DATE	REVISION

NOT FOR CONSTRUCTION



PROJECT: CREEKSIDE PARK
 MILTON CREEK, CALIFORNIA
 FLOOR PLAN
 SHEET TITLE: 2023
 DATE: 04/04/2023
 DRAWN BY: JRM
 CHECKED BY: JRM

2A

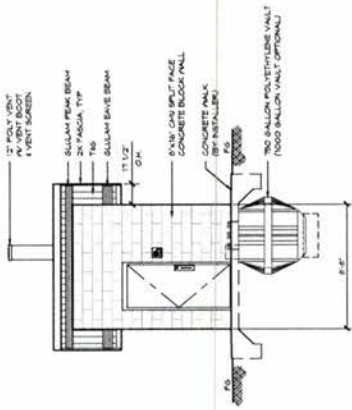
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2.5 ROOFING

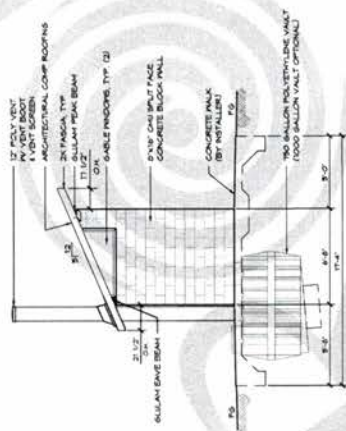
- A. The following roof components shall be supplied by building supplier:
 1. Gulliam beam shall be 24F-V4 and architectural grade.
 2. Tongue & groove decking shall be 2x6 V-edge deck boards, select deck Douglas fir.
- B. Roofing to be Fabral, 29 gauge, Grand-Rib 3 roof panels with exposed fasteners.
- C. Roofing package shall include inside and outside foam closures, matching trim (eaves, gables and ridge) and fasteners, sheet metal flashing (all sides), and 30# felt (under metal).
- D. Roofing color to be selected by the owner from the manufacturer's standard color chart.

2.6 DELIVERY, STORAGE, AND HANDLING

- A. The building supplier freight shall be based on delivering the product on a 48' to 53' flatbed or van truck and trailers, or as close to those dimensions as can legally access the site. Overall dimensions of the truck and trailers allowed to access the site are: 70' overall length, 102" wide and 168" high.
- B. Building supplier shall deliver organized building package components in stages as shown on the attached pallets that correspond to a typical sequence of construction. A bill of material stating the stages of palletized components shall be included with every delivery material.
 1. Stage 1 pallets shall include structural components such as block, frames, vents, beams, connectors, trusses, etc.
 2. Stage 2 pallets shall include second stage structural components such as filler wall material, windows, skylights, roofing, etc.
 3. Stage 3 pallets shall include structural finish components such as siding material, tile, doors etc.
 4. Stage 4 pallets shall include plumbing and electrical fixtures and other finish materials such as toilets, sinks, drinking fountains, electrical fixtures, accessories, etc.



C ELEVATION VIEW
SCALE 1/4" = 1'-0"



D ELEVATION VIEW
SCALE 1/4" = 1'-0"

THESE PLAN AND ELEVATION DRAWINGS ARE A PRELIMINARY ARCHITECTURAL REPRESENTATION OF THE PROJECT. THEY ARE NOT TO BE USED FOR CONSTRUCTION. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS OF THE SITE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND SERVICES. LETTER PROVIDED WITH YOUR QUOTE AND SPECIFICATIONS SHOULD BE REFERRED TO.

NOT FOR CONSTRUCTION

ROMTEC
1520 NORTH BANK ROAD
ROSELAND, OR 97130
(503) 498-3541 FAX (503) 498-8003

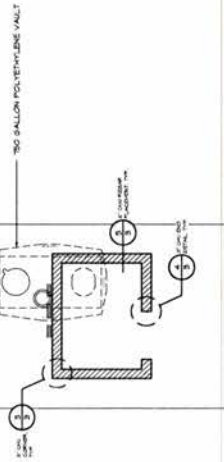
PROJECT: CREEKSIDE PARK
MILTON CREEK, CALIFORNIA
ELEVATIONS SPECIFICATIONS
REVISION: 2023
DATE: 04/04/2023
DRAWN BY: JCM

2B

SECTION 3: BUILDING INSTALLER SCOPE

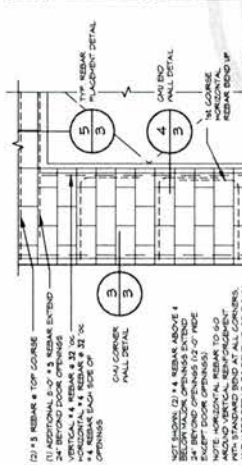
The installing contractor or subcontractor, hereafter designated as the building installer, is responsible for building package installation. Building installer work will generally include foundation/wall construction and building package assembly/construction.

Note: Building supplier's scope is separate from the building installer's scope. Romtec, Inc., is the approved building supplier, not a designated building installer.



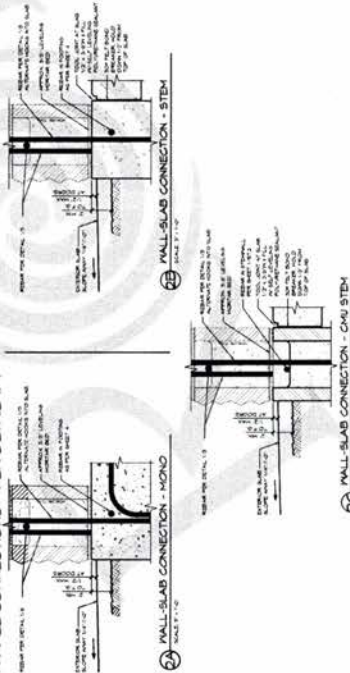
(A) STRUCTURAL CMU PLAN
SCALE 1/4" = 1'-0"

REBAR TYPE	SIZE	SPACING	LENGTH
1	#4	12" VERTICAL	3'-0" LONG
2	#4	12" HORIZONTAL	3'-0" LONG
3	#4	12" VERTICAL	3'-0" LONG
4	#4	12" HORIZONTAL	3'-0" LONG



(1) CMU REBAR LAYOUT DETAIL
SCALE 1/4" = 1'-0"

EXTERIOR WALL CONNECTIONS - PER DETAIL 1/4



SECTION 4: CONTRACTOR SCOPE ITEMS

The items in this section may be provided by the same building installer as defined in Section 3 above (typically when a single entity is acting as both the building installer and contractor), or the items in this section may be provided by a separate entity such as a general contractor or site contractor, hereafter designated as contractor (typically when the building installer is a separate subcontractor). Contractor work will generally include site preparation and grading, excavations for structures, backfill and/or structural backfill, and any site or utility work outside the building package footprint. Items in this section are generally to be completed prior to building installer beginning its installation work described in Section 3 above.

4.1 CONSTRUCTION SUBMITTALS

A. If required by owner and/or reviewing authority, contractor shall submit product data sheets and relevant information about the specified contractor supplied products below for review and approval.

4.2 WARRANTY

A. Contractor's work shall be warranted against defects in materials and workmanship for a period of not less than one (1) year from the date of acceptance. Acceptance is the date that installation work for the building package is completed, including any relevant final punch list. In the event that final acceptance of the completed building is delayed for reasons beyond contractor's control, the warranty shall be one (1) year from the completion of contractor's installation work and demobilization.

B. Contractor shall pass through to owner all relevant manufacturers warranties for individual products and components supplied by contractor.

NOT FOR CONSTRUCTION

SECTION 3: BUILDING INSTALLER SCOPE

3.1 CONSTRUCTION SUBMITTALS

A. If required by owner and/or reviewing authority, building installer shall submit product data sheets and relevant information about the specified building installer supplied products below for review and approval.

3.2 WARRANTY

A. Building installer's work shall be warranted against defects in materials and workmanship for a period of not less than one (1) year from the date of acceptance. Acceptance is the date that installation work for the building package is completed, including any relevant final punch list. In the event that final acceptance of the completed building is delayed for reasons beyond building installer's control, the warranty shall be one (1) year from the completion of building installer's installation work and demobilization.

B. Building installer shall pass through to owner all relevant manufacturers warranties for individual products and components supplied by building installer.

3.3 STRUCTURE

A. Masonry (concrete) grout shall be supplied and installed by building installer.

1. Grout shall have a minimum compressive strength of 2,500 psi at 28 days, 9-1/2" slump, with max 1/2" aggregate.

2. Fine or coarse grout may be used in accordance with 2009 UBC.

B. All CMU block must be fully grouted and may not be wetted.

Note: If required for installation, building installer will be responsible for providing appropriate equipment and labor for notching CMU block for bond beam, cutting CMU block to make any required tabs, and/or grinding CMU block for fixture mounting.

C. Rebar for walls shall be supplied and installed by building installer.

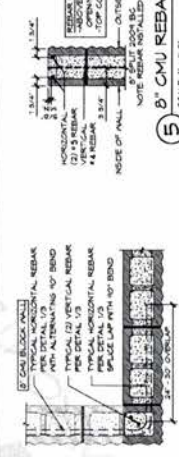
1. All walls shall have #4 and #5 rebar. See final approved plans for spacing.

2. All rebar used in the building must meet ASTM A615 manufacturing standards and is to be placed per the final approved plans.

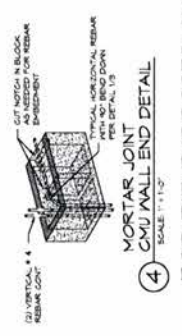
D. Interior block wall finish shall be latex epoxy paint supplied and installed by building installer.

E. Interior floors to be sealed concrete finish supplied by building installer.

F. Sealant for all exterior CMU block is required, to be supplied and installed by building installer.



(5) CMU REBAR PLACEMENT
SCALE 1/4" = 1'-0"



(4) MORTAR JOINT CMU CORNER DETAIL
SCALE 1/4" = 1'-0"



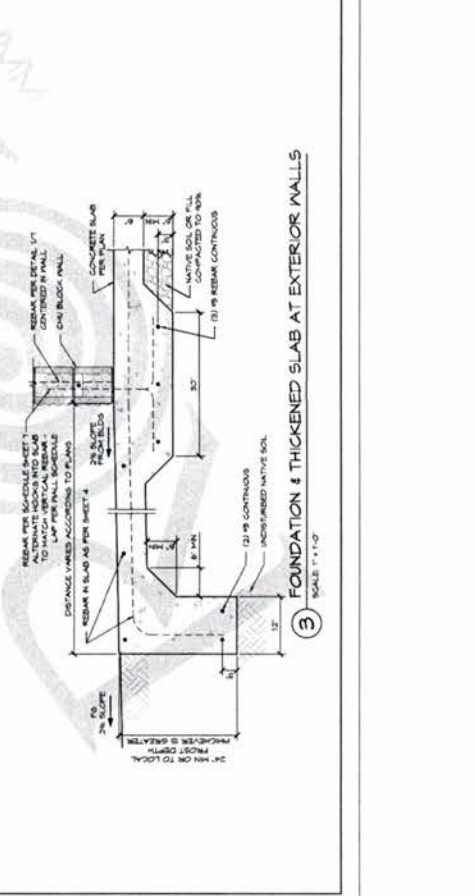
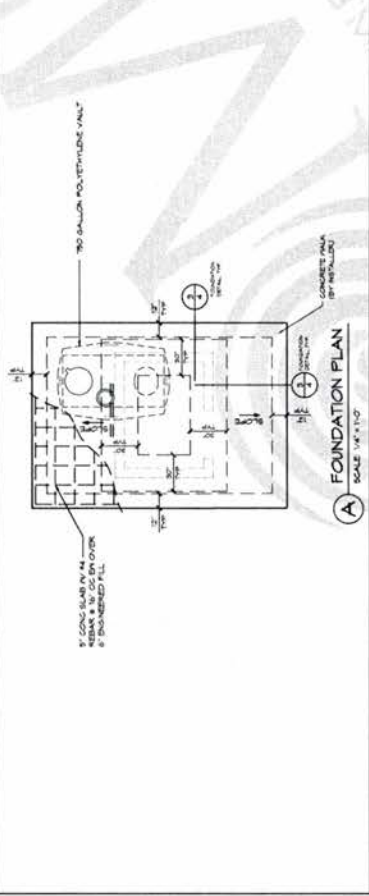
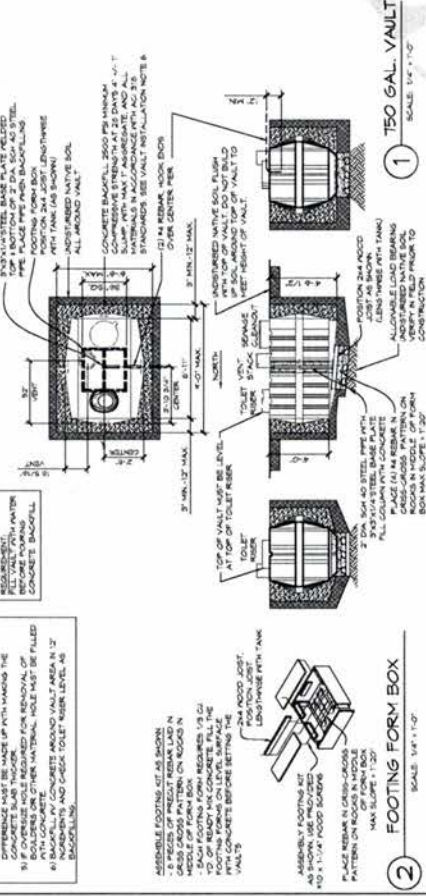
PROJECT: CREEKSIDE PARK
MILTON CREEK, CALIFORNIA
SPECIFICATIONS: STRUCTURAL CM PLAN & DETAILS
DATE: 04/04/2023
REVISED: 04/04/2023
BY: JRM

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FOUNDATION DESIGN SHOWN HERE IS PRELIMINARY AND SUBJECT TO CHANGE FINAL FOUNDATION DESIGN TO BE DETERMINED DURING THE FORTHCOMING FULL DESIGN PHASE FOR THE BUILDING. ANY INCREASED COSTS OR TIME NEEDED TO CONSTRUCT THE FINAL FOUNDATION DESIGN IS BETWEEN THE END OWNER AND THE BUILDING INSTALLER.

NOTE:
 1) ALL CONCRETE BACKFILL SHALL BE PLACED AS BACKFILL AROUND VAULT SEE GENERAL NOTES ON SHEET 02.
 2) ALL CONCRETE BACKFILL SHALL BE PLACED AS BACKFILL AROUND VAULT SEE GENERAL NOTES ON SHEET 02.
 3) DO NOT USE "JACK" HOLE DEEPER THAN SHOWN.
 4) DO NOT BUILD UP SOIL AROUND TOP OF VAULT TO DIFFERENCE MUST BE MADE UP WITH WADING THE SOIL OR OTHER MATERIAL. HOLE MUST BE FILLED WITH READY-MIX CONCRETE. HOLE MUST BE FILLED WITH READY-MIX CONCRETE TO 1'-0" ABOVE FINISH GRADE AND CURED TO RISE LEVEL AS BACKFILLING.

REQUIREMENT:
 1) ALL CONCRETE BACKFILL SHALL BE PLACED AS BACKFILL AROUND VAULT SEE GENERAL NOTES ON SHEET 02.
 2) ALL CONCRETE BACKFILL SHALL BE PLACED AS BACKFILL AROUND VAULT SEE GENERAL NOTES ON SHEET 02.
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3.4 CAST IN-PLACE CONCRETE FOR BUILDING PACKAGE
 A. All equipment, labor, trades, and materials for cast-in-place concrete shall be provided by building installer.
 B. Footings for the building package are to be dug by the building installer and poured on-site to meet local code for permanent structures. A precast, modular and placed on compacted base is not an accepted equal to a site specific, site poured, engineered foundation.
 C. Engineered fill shall be 3/4" minus crushed aggregate around footings, foundations, and slabs, or as required in the final approved plans.
 D. Slab vapor barrier shall be 6-mil continuous plastic under the concrete slab, or as required in the final approved plans.
 E. The foundation shall be installed as designed with all cast-in-place concrete poured to dimensions specified, or as required in the final plans.
 F. Minimum compressive strength of foundation concrete shall be 3,000 psi at 28 days, 4" x 1/2" slump, with max 3/4" aggregate, cured in accordance with ACI 308, or as required in approval of final plans.
 G. Slabs shall have a fine brown finish with joints required in flat work as shown on plans.
 H. Steel rebar shall be installed as specified in final plans.
 I. Building installer shall supply and install concrete slab sealer.
 J. Concrete slab sealer shall be a water-based, transparent curing, sealing and dust proofing compound with two (2) coats to be applied per manufacturer's instructions.

3.5 OTHER MATERIALS & EQUIPMENT
 A. Unless otherwise specified, the following products and materials are supplied by building installer (if applicable):
 1. Building package installation
 2. Cast-in-place concrete foundations, footings, interior slabs
 3. Concrete slab & block sealer
 4. Mortar
 5. Concrete grout
 6. Rebar
 7. Latex epoxy paint
 8. Caulk for siding
 9. Typical fasteners, for example: roofing nails, staples, etc.
 10. Fasteners not included in product packaging
 11. Wood sealant for all decking, g-frames, beams, posts, and extensions
 12. All other items within the building footprint indicated on final plans or required by building codes to complete installation of the building package which are not specifically stated as supplied by building supplier.

3.6 DELIVERY, STORAGE, AND HANDLING
 A. The building installer will be responsible for all equipment and labor required for off-loading of the delivered building package onsite.
 B. The building installer will assume responsibility for adequate protection and maintenance of delivered building package materials from weather, damage, and pilferage during installation work. Any failure to adequately protect building package materials that affects the warranty of those materials will be at building installer's expense.
 C. Building installer shall collect and maintain for final delivery to owner any operation & maintenance manuals included by individual product manufacturers with their respective product packaging. Any failure to collect, maintain, and/or deliver these O&M manuals to the owner that results in loss from building supplier for additional copies shall be at building installer's expense.

4.3 CAST-IN-PLACE CONCRETE FOR BUILDING EXTERIOR
 A. All equipment, labor, trades, and materials shall be supplied by contractor.
 B. Refer to drawings for sidewalks and entry slabs.
 1. Minimum concrete compressive strength of 2,500 psi at 28 days, or as required in final approved plans.
 2. Rebar or rebar reinforcement shall be used in sidewalks.
 3. All sidewalks shall be finished with a fine brown with control joints installed per the final approved site plan.

4.4 OTHER MATERIALS & EQUIPMENT
 A. Unless otherwise specified, the following products and materials are supplied by contractor.
 1. All items not specifically listed as supplied by building supplier or building installer.
 2. Any item listed as supplied by "contractor" or "others".
 B. Unless specified in the plans or submittals, contractor supplies the following items (if applicable):
 1. Incoming electrical, water, sewer, and gas utilities.
 2. Asphalt paving
 3. Masonry pavers
 4. Sidewalks
 5. Landscaping
 6. Site grading
 7. Exterior entry slabs
 8. Irrigation Equipment
 9. Gutters and downspouts
 10. Fire alarm and fire suppression equipment
 11. Lighting equipment not attached to the building.
 12. All other items exterior of the building footprint indicated on final plans or required by building codes which are not specifically stated as supplied by building supplier or building installer.

4.5 DELIVERY, STORAGE, AND HANDLING
 C. The contractor will assume responsibility for adequate protection and maintenance of the installed building package materials after completion of installation work by the building installer. Any failure to adequately protect building package materials that affects the warranty of those materials will be at contractor's expense.

SECTION 5: OWNERS SCOPE
 5.1 ONGOING MAINTENANCE
 A. Owner is responsible for ongoing maintenance of the completed restroom building after completion of work by building installer and contractor.
 5.2 SITE PLAN
 A. Owner (or owner's site engineer) is responsible for providing the final approved site plan to building supplier and/or building installer.
 5.3 SPECIAL INSPECTION
 A. If required, special inspection(s) services shall be provided by owner.
 B. If special inspection(s) are required by the permitting authority or relevant agency(ies), then the building supplier, building installer, and/or contractor shall provide reasonable assistance to the owner to accommodate the special inspection(s).

NOT FOR CONSTRUCTION



PROJECT: CRENSIDE PARK
 FOUNDATION PLAN & DETAILS
 DATE: 04/04/2023
 SHEET: 004